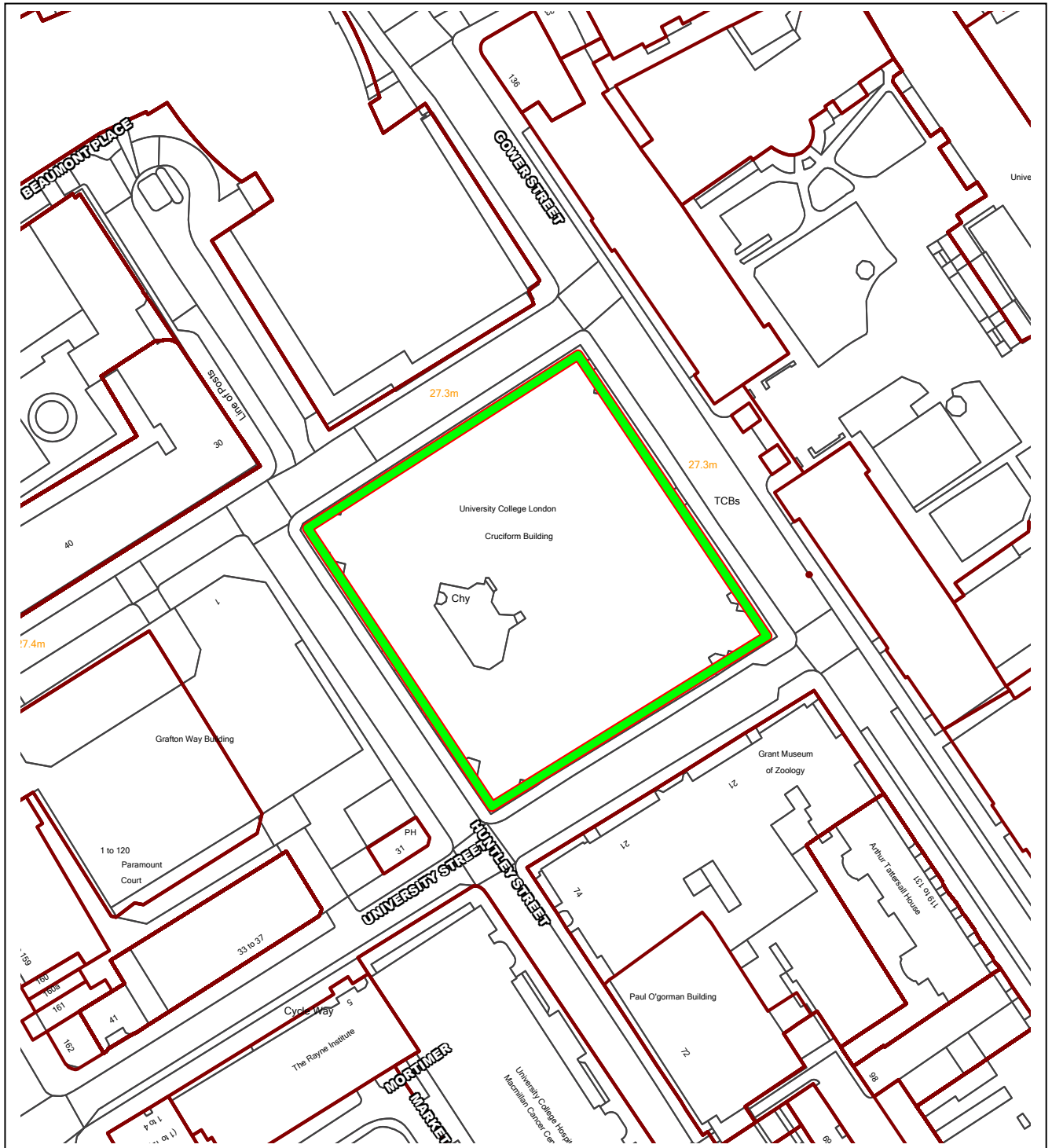
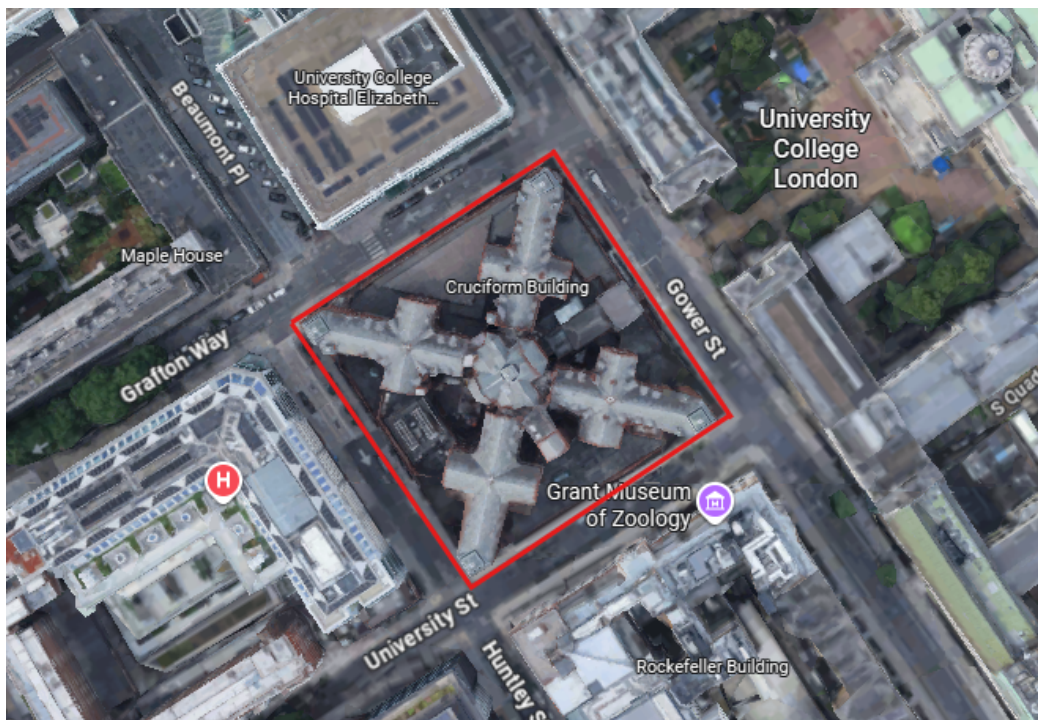


UCL Cruciform Building Gower Street



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Site Photos and Plans



1. Site location



2. Aerial view of the building showing the front elevation



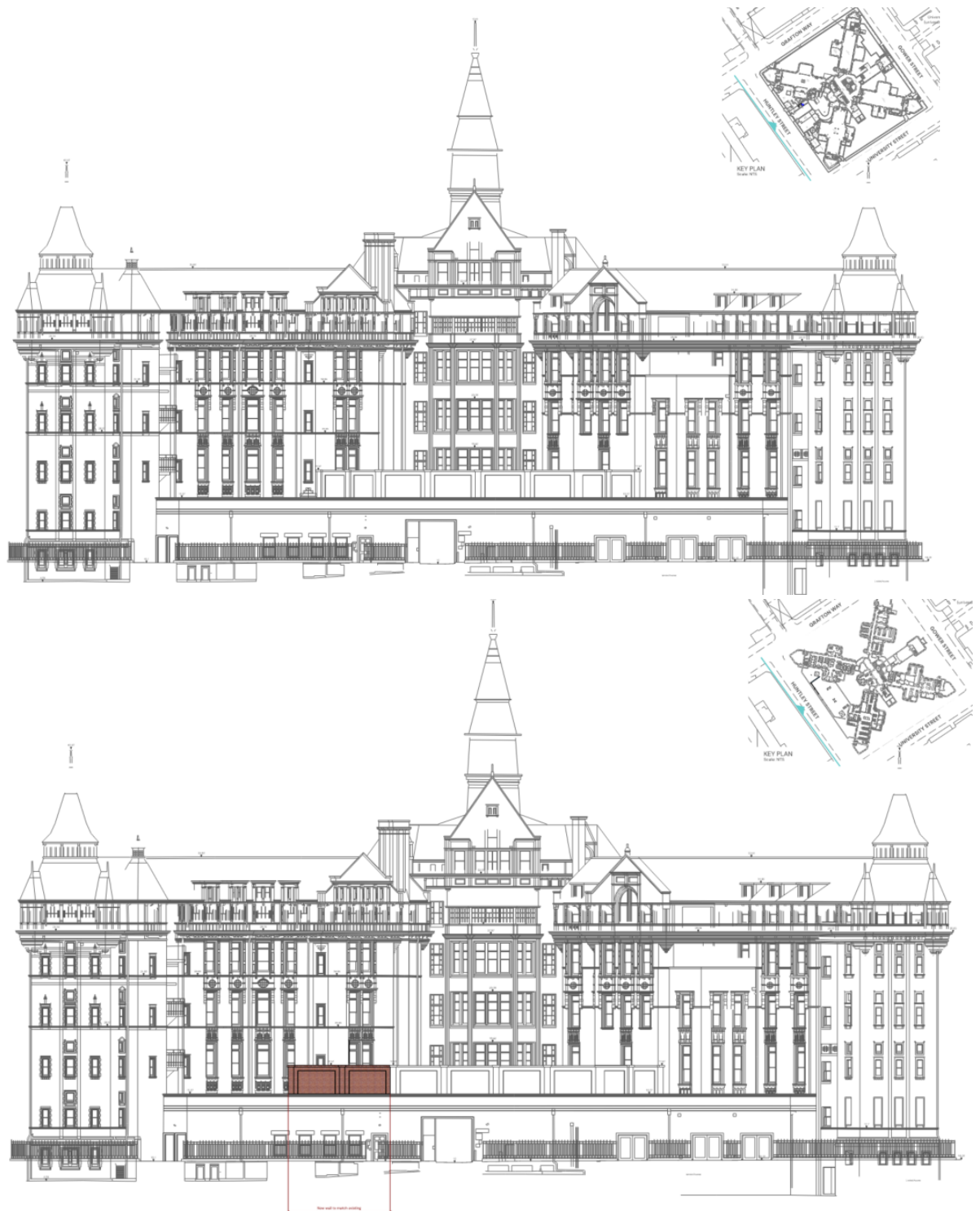
3. Photo of the rear of the building showing the existing brick plant screen



4. View from behind the existing plant screen



5. Aerial view of the plant area facing Huntley Street



6. Existing (above) and proposed rear elevation



7. Existing (above) and proposed first floor plan

Delegated Report (Members Briefing)		Analysis sheet		Expiry Date:	28/08/2026
		N/A		Consultation Expiry Date:	09/08/2026
Officer				Application Number	
Edward Hodgson				i) 2026/2804/P ii) 2026/2863/L	
Application Address				Drawing Numbers	
UCL Cruciform Building Gower Street London WC1E 6BT				<i>See draft decision notice</i>	
PO 3/4	Area Team Signature	C&UD	Authorised Officer Signature		
Proposal					
i) Replacement of existing chiller units at Level 01 roof level with 4no. heat pump cabinets and 4no. flatbed dry air coolers; reconfiguration of plant screen; installation of an access ladder, alongside associated works. ii) Replacement of existing chiller units at Level 01 roof level with 4no. heat pump cabinets and 4no. flatbed dry air coolers; reconfiguration of plant screen; installation of an access ladder, alongside associated works.					
Recommendation:		I) Grant conditional planning permission II) Grant conditional listed building consent			
Application Type:		i) Full Planning Permission ii) Listed Building Consent			

Conditions or Reasons for Refusal:	Refer to Draft Decision Notice			
Informatives:				
Consultations				
Summary of consultation:	Site notices were displayed near to the site on the 10/07/2026 (consultation end date 03/08/2026). The development was also advertised in the local press on the 16/07/2026 (consultation end date 09/08/2026).			
Adjoining Occupiers:	No. of responses	01	No. of objections	01
Summary of consultation responses:	One letter of objection was received by the Charlotte Street Association, which can be summarised as below: - The proposal would disrupt the appearance of building, as the existing brick screening wall would no longer be symmetrical, which will no longer reflect the strong symmetry and architectural character of the elevation. - The changes will be visible in public views and would impact on the conservation area. - The amount of plant looks like it will be squeezed in up against the windows of the listed building. - Approach should be looked at again, to be more sensitive to the building and to improve outlook from these windows. - Querying why the building is disconnecting from the Bloomsbury District Heat Network, which itself should be decarbonised, instead of changing the equipment on one specific building. <u>Officer's Response</u> - Design and heritage are discussed in section 2 of the report. - Amenity is discussed in section 3 of the report. - There are proposals in place to decarbonise the Bloomsbury District Heat Network, by providing Air Source Heat Pumps at the Institute of Education Building, under planning ref 2024/3198/P. This has not yet been implemented. This application must be assessed on its own merits and is separate from other applications elsewhere.			
Bloomsbury CAAC:	The BCAAC were invited for consultation however no comments or objections were received.			

Site Description

The Cruciform Building was designed by architect Alfred Waterhouse and constructed between 1897 and 1906. The unusual diagonal plan for the new building was an attempt to solve the problems of ventilation, drainage and lighting by arranging the wards like the diagonal limbs of a cross. The Cruciform functioned as the main building for University College Hospital until its closure in 1995. After the NHS vacated the building for a new premises nearby, the Cruciform was repurposed for the UCL Faculty of Medical Sciences, during which it underwent extensive refurbishment. The building is Grade II listed.

This application relates to the roof at Level 01 of the west elevation of the Cruciform Building fronting Huntley Street.

Relevant History

Application Site:

9301185 - Change of use from hospital within Class C2 to educational within Class D1 as shown on site plan 212/01/11. **Granted - 25/08/1994**

9501951 - Works of partial demolition, extension and alteration in connection with the use of the premises for teaching and research purposes. **Granted - 22/03/1996**

Relevant policies

National Planning Policy Framework (2026)

The London Plan (2021)

Camden Local Plan (2017)

- **A1** Managing the impact of development
- **A4** Noise and vibration
- **A3** Biodiversity
- **D1** Design
- **D2** Heritage
- **CC2** Adapting to climate change

Camden Planning Guidance

- CPG Amenity (2021)
- CPG Design (2021)
- CPG Energy Efficiency and Adaptation (2021)

Conservation Statements:

- Bloomsbury Conservation Area Appraisal and management strategy (2011)

Draft Camden Local Plan

The council has published a new [Draft Camden Local Plan](#) (incorporating Site Allocations) for consultation (DCLP). The DCLP is a material consideration and can be taken into account in the determination of planning applications, but has limited weight at this stage. The weight that can be given to it will increase as it progresses towards adoption (anticipated 2026).

1. Proposal

1.1. Planning permission and listed building consent are sought for the removal of existing chiller units and replacing these with 4no heat pumps, dry air coolers and associated equipment at level 01 on the rear facing Huntley Street. This would also involve the reconfiguration of the plant screen, and a new access ladder would be installed. This is part of the decarbonisation strategy for the UCL Bloomsbury Campus.

1.2. The principal planning considerations for the proposal are:

- Design and Heritage
- Amenity
- Sustainability
- Biodiversity

2. Design and Heritage

2.1. The Council's design policies are aimed at achieving the highest standard of design in all developments. The following considerations contained within policy D1 are relevant to the application: development should respect local context and character; comprise details and materials that are of high quality and complement the local character; and respond to natural features. Policy D2 'Heritage' states that in order to maintain the character of Camden's conservation areas, the Council will not permit development within conservation area that fails to preserve or enhance the character and appearance of that conservation area. To preserve or enhance the borough's listed buildings, the Council will: i. resist the total or substantial demolition of a listed building; j. resist proposals for a change of use or alterations and extensions to a listed building where this would cause harm to the special architectural and historic interest of the building; and k. resist development that would cause harm to significance of a listed building through an effect on its setting.

2.2. The Bloomsbury Conservation Area Statement advises that alterations and extensions to existing buildings including the addition of prominent roof level plant can have a detrimental impact to the character and appearance of the area.

2.3. The proposals seek to replace the existing building's chillers with a combined heat pump system with dry air coolers. This will consist of 4no. shell and tube heat pump cabinets and 4no. 10-fan flatbed dry air coolers. The plant will be located on the flat roof at first floor to the rear, which faces onto Huntley Street and will replace the existing chillers located in this position. A small ladder for maintenance access would also be installed.

2.4. The proposed plant will occupy more of the flat roof space when compared to the current arrangement. To visually shield the plant from public views along Huntley Street it is proposed to remove, rebuild and extend part of the existing brick plant-screen wall on a like-for like basis.

2.5. Huntley Street is not a major thoroughfare and visual appreciation of the Cruciform Building are restricted by the width of the road and parked hospital traffic. More significant oblique views of the west elevation of the building may be had from the junctions with Grafton Way (looking south-east) and University Street (looking north-west).

2.6. The extension of the brick plant-screen wall – which is not part of the original C19 fabric of the building – will bring this feature into ever so slightly greater visual prominence within the streetscene view, but this must be caveated since the changes will be at first floor level, behind a fronting parapet and away from direct pedestrian sightlines. The elevations of the building are already multi-faceted and visually complex, and therefore the proposed change to the plant-screen wall will not be unduly visually prominent. The breaking of the symmetry of the building will

not be read given the restrictions on localised views within Huntley Street. It is also considered that the presence of the relocated brick plant-screen wall is preferential to seeing the plant itself.

- 2.7. The harm that would result to the architectural significance of the building as a result of the proposed changes would be at the very lowest end of the scale. The harm would not be substantial harm. The proposal would also result in very low level harm to the character and appearance of the Bloomsbury Conservation Area.
- 2.8. The NPPF chapter HE6 para 4 states: *Where a development proposal would harm the significance of a designated heritage asset the effect on the asset and its significance should be weighed against any public benefits resulting from the proposal. Important public benefits can include securing the long-term reuse of a vacant or underused listed building, and enabling energy efficiency and low carbon heating measures to be employed.*
- 2.9. The proposal would seek to provide low carbon and energy efficient heating measures for the building, and as stated above, this public benefit would outweigh the harm that has been identified.
- 2.10. Special attention has been paid to the desirability of preserving or enhancing the character or appearance of the Conservation Area and special interest of the listed building.

3. Amenity

- 3.1. Policy A1 seeks to protect the quality of life of occupiers and neighbours by only granting permission to development that would not harm the amenity of residents. This includes factors such as privacy, outlook, implications to natural light, artificial light spill, odour and fumes as well as impacts caused from the construction phase of development. Policy A4 seeks to ensure that residents are not adversely impacts upon by virtue of noise or vibrations.
- 3.2. The unit would be located at roof of level 1 of the building within an acoustic enclosure. The nearest sensitive receptors are the residential apartments on Grafton Way. A Noise Impact Assessment has been undertaken, which has established the existing background noise levels in the vicinity around the application site. The report has confirmed that with the existing plant screening retained, the noise is expecting to comply with Camden Local Plan policies. Conditions are attached to the decision notice to ensure that any recommended mitigation measures are implemented and to ensure that noise from the units does not exceed the Council's requirements. The Noise Impact Assessment has been reviewed by the Council's Environmental Health Team who have deemed it to be acceptable subject to conditions.
- 3.3. Concerns were raised by the Charlotte Street Association about the proximity of the extended plant area to existing windows on the building. These windows are part of the application building and serve offices. The Council, under policy A1, would only assess the impact on outlook of neighbouring residential occupiers. No neighbouring residential occupiers would be affected by these works in terms of outlook.
- 3.4. The proposed development would not lead to a significant impact upon the amenities of any neighbouring resident. The development is thus considered to be in accordance with planning policies A1 and A4 of the Camden Local Plan 2017.

4. Sustainability

- 4.1. The existing plant serving the building is no longer fit for purpose. The units would provide the same function as the existing plant, although they would be more energy efficient and environmentally friendly than the existing. The active cooling is essentially being replaced and upgraded instead of being increased. Therefore, the active cooling is considered acceptable in this instance. The proposals are thus in general accordance with policy CC2 of the Camden Local Plan 2017.

5. Biodiversity

- 5.1. Biodiversity Net Gain (BNG) was introduced on 12th February 2024 and makes a statutory requirement for all development to provide a net increase of 10% for biodiversity, unless it meets the criteria for exemption. As the development does not impact 25sqm of on-site habitat or 5m of on-site linear habitats the proposal is exempt for BNG requirements. Informatives are attached to the decision notice to further explain the requirements of BNG.

6. Recommendation

- 6.1. Grant conditional Planning Permission and conditional Listed Building Consent

The decision to refer an application to Planning Committee lies with the Director of Regeneration and Planning. Following the Members Briefing panel on Monday 14th September 2026, nominated members will advise whether they consider this application should be reported to the Planning Committee. For further information, please go to www.camden.gov.uk and search for 'Members Briefing'.

Application ref: 2026/2863/L
Contact: Edward Hodgson
Tel: 020 7974 8186
Email: Edward.Hodgson@camden.gov.uk
Date: 3 September 2026

Development Management
Regeneration and Planning
London Borough of Camden
Town Hall
Judd Street
London
WC1H 9JE
Phone: 020 7974 4444
planning@camden.gov.uk
www.camden.gov.uk

Newmark Gerald Eve LLP
One Fitzroy
6 Mortimer Street
London
W1T 3JJ

DRAFT

Dear Sir/Madam

DECISION

Planning (Listed Building and Conservation Areas) Act 1990

Listed Building Consent Granted

Address:
UCL Cruciform Building
Gower Street
London
WC1E 6BT

DECISION

Proposal:

Replacement of existing chiller units at Level 01 roof level with 4no. heat pump cabinets and 4no. flatbed dry air coolers; reconfiguration of plant screen; installation of an access ladder, alongside associated works.

Drawing Nos: Site Location Plan 250687-1100 P01, 250687-1201P02, 250687-1300 P01, 250687-2000 P02, 250687-3000 P01, 250687-4001 P02, 250687-1101 P01, Plant Specification, Design and Access Statement, Noise Impact Assessment, Heritage Assessment, Cover Letter

The Council has considered your application and decided to grant subject to the following condition(s):

Conditions And Reasons:

- 1 The works hereby permitted shall be begun not later than the end of three years from the date of this consent.

Reason: In order to comply with the provisions of Section 18 of the Planning (Listed Buildings and Conservation Areas) Act 1990.

- 2 The development hereby permitted shall be carried out in accordance with the following approved plans:

Site Location Plan 250687-1100 P01, 250687-1201P02, 250687-1300 P01, 250687-2000 P02, 250687-3000 P01, 250687-4001 P02, 250687-1101 P01, Plant Specification, Design and Access Statement, Noise Impact Assessment, Heritage Assessment, Cover Letter

Reason: In order to safeguard the special architectural and historic interest of the building in accordance with the requirements of policy D2 of the Camden Local Plan 2017.

- 3 All new work and work of making good shall be carried out to match the existing adjacent work as closely as possible in materials and detailed execution.

Reason: In order to safeguard the special architectural and historic interest of the building in accordance with the requirements of policy D2 of the Camden Local Plan 2017.

Informative(s):

- 1 You are advised that any works of alterations or upgrading not included on the approved drawings which are required to satisfy the Building Safety Act 2022, the Building (Higher-Risk Buildings Procedures) (England) Regulations 2023 and any other applicable Building Regulation requirements may require a further application for listed building consent. It is your responsibility to ensure that all statutory requirements are met before construction begins.
- 2 This approval does not authorise the use of the public highway. Any requirement to use the public highway, such as for hoardings, temporary road closures and suspension of parking bays, will be subject to approval of relevant licence from the Council's Streetworks Authorisations & Compliance Team, 5 Pancras Square c/o Town Hall, Judd Street London WC1H 9JE (Tel. No 020 7974 4444). Licences and authorisations need to be sought in advance of proposed works. Where development is subject to a Construction Management Plan (through a requirement in a S106 agreement), no licence or authorisation will be granted until the Construction Management Plan is approved by the Council.
- 3 All works should be conducted in accordance with the Camden Minimum Requirements - a copy is available on the Council's website (search for 'Camden Minimum Requirements' at www.camden.gov.uk) or contact the Council's Noise and Licensing Enforcement Team, 5 Pancras Square c/o Town Hall, Judd Street London WC1H 9JE (Tel. No. 020 7974 4444)

Noise from demolition and construction works is subject to control under the Control of Pollution Act 1974. You must carry out any building works that can be heard at the boundary of the site only between 08.00 and 18.00 hours Monday to Friday and 08.00 to 13.00 on Saturday and not at all on Sundays and Public Holidays. You must secure the approval of the Council's Noise and Licensing Enforcement Team prior to undertaking such activities outside these hours.

In dealing with the application, the Council has sought to work with the applicant in a positive and proactive way in accordance with the National Planning Policy Framework. The council publishes its adopted policies online, along with detailed Camden Planning Guidance. It also provides advice on the website for submitting applications and offers a pre-application advice service.

You can find advice about your rights of appeal at:

<http://www.planningportal.gov.uk/planning/appeals/guidance/guidancecontent>

Yours faithfully

Chief Planning Officer

DRAFT

DECISION

Application ref: 2026/2804/P
Contact: Edward Hodgson
Tel: 020 7974 8186
Email: Edward.Hodgson@camden.gov.uk
Date: 3 September 2026

Development Management
Regeneration and Planning
London Borough of Camden
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Judd Street
London
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Phone: 020 7974 4444

planning@camden.gov.uk
www.camden.gov.uk

Newmark Gerald Eve LLP
One Fitzroy
6 Mortimer Street
London
W1T 3JJ

DRAFT

Dear Sir/Madam

DECISION

Town and Country Planning Act 1990 (as amended)

Full Planning Permission Granted

Address:

UCL Cruciform Building
Gower Street
London
WC1E 6BT

DECISION

Proposal:

Replacement of existing chiller units at Level 01 roof level with 4no. heat pump cabinets and 4no. flatbed dry air coolers; reconfiguration of plant screen; installation of an access ladder, alongside associated works.

Drawing Nos: Site Location Plan 250687-1100 P01, 250687-1201P02, 250687-1300 P01, 250687-2000 P02, 250687-3000 P01, 250687-4001 P02, 250687-1101 P01, Plant Specification, Design and Access Statement, Noise Impact Assessment, Heritage Assessment, Cover Letter

The Council has considered your application and decided to grant permission subject to the following condition(s):

Condition(s) and Reason(s):

- 1 The development hereby permitted must be begun not later than the end of three years from the date of this permission.

Reason: In order to comply with the provisions of Section 91 of the Town and Country Planning Act 1990 (as amended).

- 2 The development hereby permitted shall be carried out in accordance with the following approved plans:

Site Location Plan 250687-1100 P01, 250687-1201P02, 250687-1300 P01, 250687-2000 P02, 250687-3000 P01, 250687-4001 P02, 250687-1101 P01, Plant Specification, Design and Access Statement, Noise Impact Assessment, Heritage Assessment, Cover Letter

Reason: For the avoidance of doubt and in the interest of proper planning.

- 3 All new external work shall be carried out in materials that resemble, as closely as possible, in colour and texture those of the existing building, unless otherwise specified in the approved application.

Reason: To safeguard the appearance of the premises and the character of the immediate area in accordance with the requirements of policy D1 [and D2 if in CA] of the London Borough of Camden Local Plan 2017.

- 4 The external noise level emitted from plant, machinery or equipment at the development with specified noise mitigation hereby approved shall be lower than the typical existing background noise level by at least 10dBA, by 15dBA where the source is tonal, as assessed according to BS4142:2014 at the nearest and/or most affected noise sensitive premises, with machinery operating at maximum capacity and thereafter be permanently retained.

Reason: To ensure that the amenity of occupiers of the development site/ surrounding premises is not adversely affected by noise from mechanical installations/ equipment in accordance with the requirements of policies A1 and A4 of the London Borough of Camden Local Plan 2017

- 5 Prior to use, machinery, plant or equipment at the development shall be mounted with proprietary anti-vibration isolators and fan motors shall be vibration isolated from the casing and adequately silenced and maintained as such.

Reason: To ensure that the amenity of occupiers of the development site and surrounding premises is not adversely affected by vibration in accordance with the requirements of policies A1 and A4 of the London Borough of Camden Local Plan 2017

Informative(s):

- 1 Your proposals may be subject to control under the Building Regulations and/or the London Buildings Acts that cover aspects including (but not limited to) fire and emergency escape, access and facilities for people with disabilities and sound insulation between dwellings. You are advised to consult the Council's Building Control Service, Building.Control@camden.gov.uk (tel: 020-7974 4444).

- 2 This approval does not authorise the use of the public highway. Any requirement to use the public highway, such as for hoardings, temporary road closures and suspension of parking bays, will be subject to approval of relevant licence from the Council's Streetworks Authorisations & Compliance Team, 5 Pancras Square c/o Town Hall, Judd Street London WC1H 9JE (Tel. No 020 7974 4444). Licences and authorisations need to be sought in advance of proposed works. Where development is subject to a Construction Management Plan (through a requirement in a S106 agreement), no licence or authorisation will be granted until the Construction Management Plan is approved by the Council.
- 3 All works should be conducted in accordance with the Camden Minimum Requirements - a copy is available on the Council's website (search for 'Camden Minimum Requirements' at www.camden.gov.uk) or contact the Council's Noise and Licensing Enforcement Team, 5 Pancras Square c/o Town Hall, Judd Street London WC1H 9JE (Tel. No. 020 7974 4444)

Noise from demolition and construction works is subject to control under the Control of Pollution Act 1974. You must carry out any building works that can be heard at the boundary of the site only between 08.00 and 18.00 hours Monday to Friday and 08.00 to 13.00 on Saturday and not at all on Sundays and Public Holidays. You must secure the approval of the Council's Noise and Licensing Enforcement Team prior to undertaking such activities outside these hours.

- 4 Biodiversity Net Gain (BNG) Informative (1/3):
The effect of paragraph 13 of Schedule 7A to the Town and Country Planning Act 1990 ("1990 Act") is that planning permission granted in England is subject to the condition ("the biodiversity gain condition") that development may not begin unless:
(a) a Biodiversity Gain Plan has been submitted to the planning authority, and
(b) the planning authority has approved the plan.

The local planning authority (LPA) that would approve any Biodiversity Gain Plan (BGP) (if required) is London Borough of Camden.

There are statutory exemptions and transitional arrangements which mean that the biodiversity gain condition does not always apply. These are summarised below, but you should check the legislation yourself and ensure you meet the statutory requirements.

Based on the information provided, this will not require the approval of a BGP before development is begun because it is below the de minimis threshold.

- 5 Biodiversity Net Gain (BNG) Informative (2/3):
+ Summary of transitional arrangements and exemptions for biodiversity gain condition
The following are provided for information and may not apply to this permission:
1. The planning application was made before 12 February 2024.
2. The planning permission is retrospective.
3. The planning permission was granted under section 73 of the Town and Country Planning Act 1990 and the original (parent) planning permission was made or granted before 12 February 2024.
4. The permission is exempt because of one or more of the reasons below:

- It is not "major development" and the application was made or granted before 2 April 2024, or planning permission is granted under section 73 and the original (parent) permission was made or granted before 2 April 2024.
- It is below the de minimis threshold (because it does not impact an onsite priority habitat AND impacts less than 25 square metres of onsite habitat with biodiversity value greater than zero and less than 5 metres in length of onsite linear habitat).
- The application is a Householder Application.
- It is for development of a "Biodiversity Gain Site".
- It is Self and Custom Build Development (for no more than 9 dwellings on a site no larger than 0.5 hectares and consists exclusively of dwellings which are Self-Build or Custom Housebuilding).
- It forms part of, or is ancillary to, the high-speed railway transport network (High Speed 2).

6 Biodiversity Net Gain (BNG) Informative (3/3):

+ Irreplaceable habitat:

If the onsite habitat includes Irreplaceable Habitat (within the meaning of the Biodiversity Gain Requirements (Irreplaceable Habitat) Regulations 2024) there are additional requirements. In addition to information about minimising adverse impacts on the habitat, the BGP must include information on compensation for any impact on the biodiversity of the irreplaceable habitat. The LPA can only approve a BGP if satisfied that the impact on the irreplaceable habitat is minimised and appropriate arrangements have been made for compensating for any impact which do not include the use of biodiversity credits.

+ The effect of section 73(2D) of the Town & Country Planning Act 1990

If planning permission is granted under section 73, and a BGP was approved in relation to the previous planning permission ("the earlier BGP"), the earlier BGP may be regarded as approved for the purpose of discharging the biodiversity gain condition on this permission. It will be regarded as approved if the conditions attached (and so the permission granted) do not affect both the post-development value of the onsite habitat and any arrangements made to compensate irreplaceable habitat as specified in the earlier BGP.

+ Phased development

In the case of phased development, the BGP will be required to be submitted to and approved by the LPA before development can begin (the overall plan), and before each phase of development can begin (phase plans). The modifications in respect of the biodiversity gain condition in phased development are set out in Part 2 of the Biodiversity Gain (Town and Country Planning) (Modifications and Amendments) (England) Regulations 2024.

In dealing with the application, the Council has sought to work with the applicant in a positive and proactive way in accordance with the National Planning Policy Framework. The council publishes its adopted policies online, along with detailed Camden Planning Guidance. It also provides advice on the website for submitting applications and offers a pre-application advice service.

You can find advice about your rights of appeal at:

<https://www.gov.uk/appeal-planning-decision.>

Yours faithfully

Chief Planning Officer

DRAFT

DECISION