

2026/1735/P – 14 Templewood Avenue



Figure 1: Site Location Plan



Figure 2: Aerial of application site



Figure 3: Image of site as viewed from Templewood Avenue, showing the existing frontage.

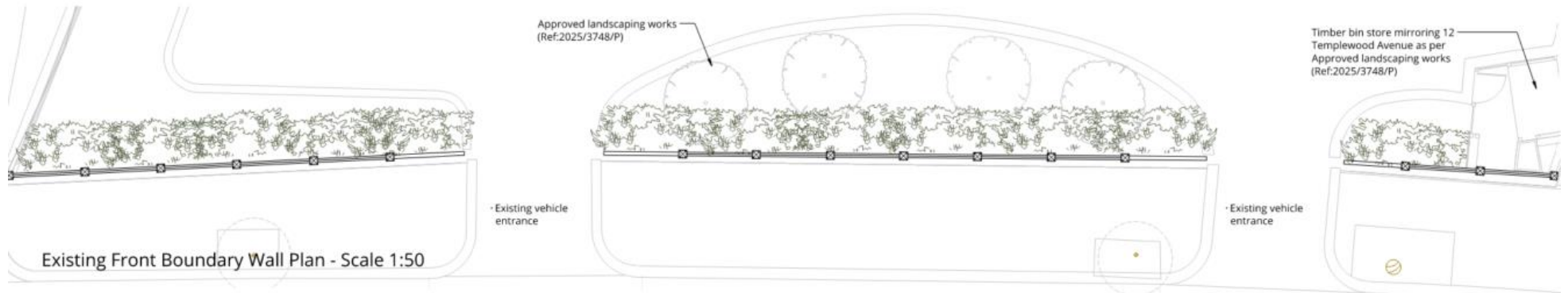


Figure 4: Existing front boundary wall plan.

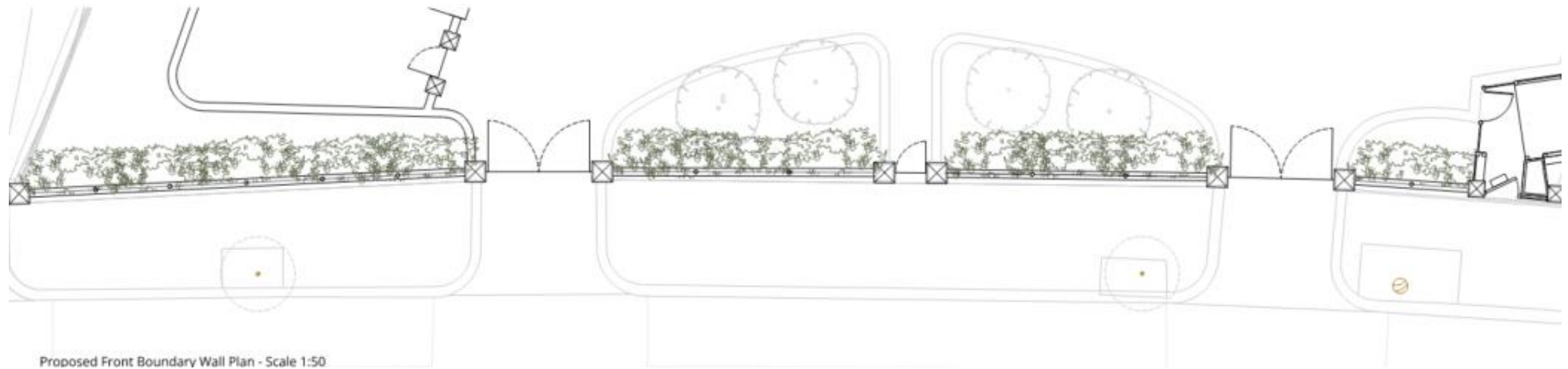


Figure 5: Proposed front boundary wall plan (including side wall to coach house)

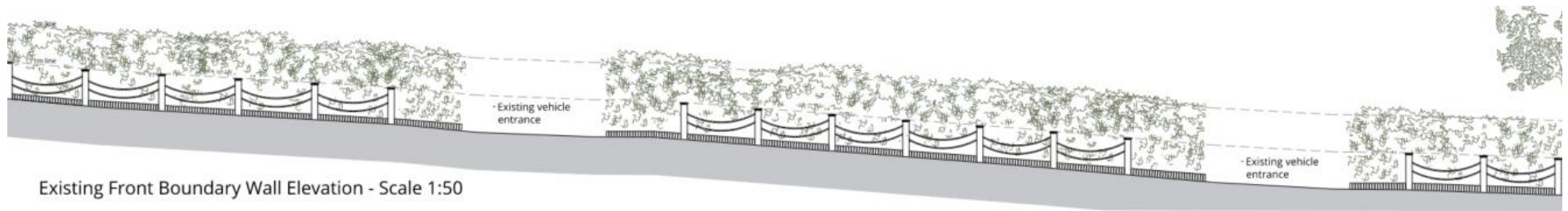


Figure 6: Existing front boundary wall elevation

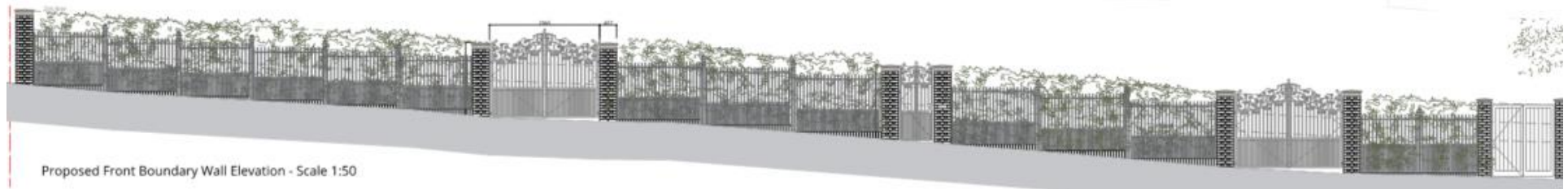


Figure 7: Proposed front boundary wall elevation



Figure 8: Proposed front boundary wall street elevation

Figure 9: Proposed front boundary wall street, inset detail

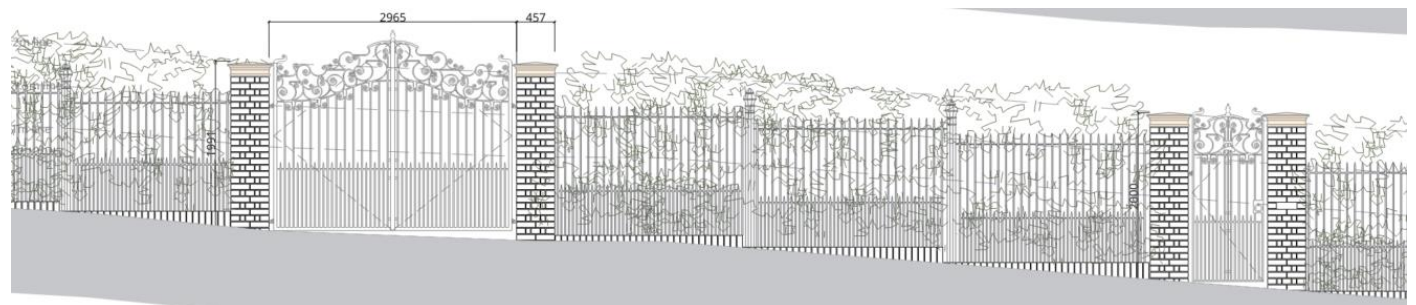




Figure 10: Proposed wall and gate to coach house

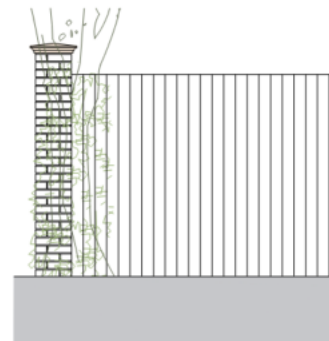
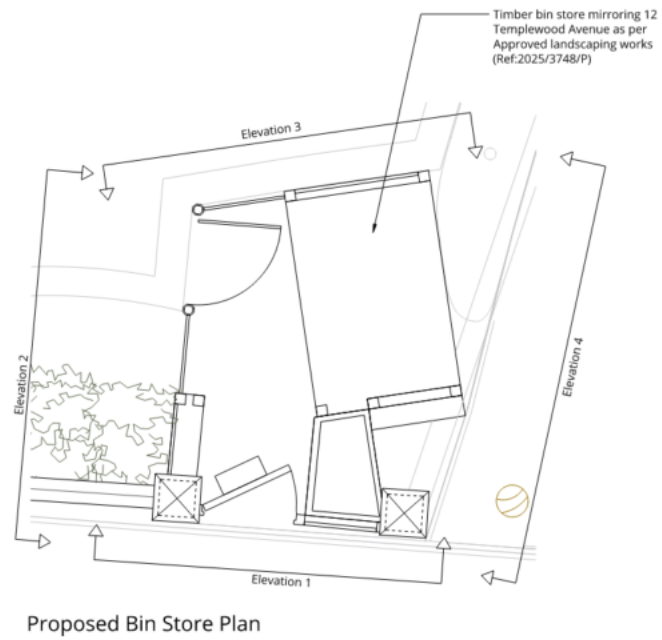


Figure 11: Proposed bin store details including elevation to Templewood Avenue

Delegated Report (Members Briefing)		Analysis sheet	Expiry Date:	21/01/2026
		N/A / attached	Consultation Expiry Date:	4/01/2026
Officer			Application Number(s)	
Brendan Versluys			i) 2026/1735/P ii) 2026/2479/L	
Application Address			Drawing Numbers	
14 Templewood Avenue London NW3 7XA			See draft decision notice	
PO 3/4	Area Team Signature	C&UD	Authorised Officer Signature	
Proposals				
Erection of new boundary treatment to site frontage and return wall/gate to the coach house; erection of new bin store to front yard.				
Recommendation:	1. Grant conditional planning permission 2. Grant listed building consent			
Application Type:	1. Householder 2. Listed Building Consent			

Conditions or Reasons for Refusal:	Refer to Draft Decision Notice			
Informatives:				
Consultations				
Summary of consultation:	Site notices for the Householder planning application were displayed near to the site on 21/05/2026 (consultation end date 14/06/2026). Site notices for the Listed building consent application were displayed near to the site on 25/06/2026 (consultation end date 19/07/2026). A press notice for the Full planning application was advertised 15/05/2026 (consultation end date 8/06/2026). A press notice for the Listed building consent application was advertised 16/06/2026 (consultation end date 10/07/2026).			
Adjoining Occupiers:	No. of responses	0	No. of objections	0
Hampstead Conservation Area Advisory Committee (HCAAC)	An objection on behalf of the Hampstead Conservation Area Advisory Committee (CAAC) was received on 14/06/2026, which can be summarised as follows: <i>HCAAC objects to the proposal for new boundary works replacing the existing hedges. The hedges were approved or accepted as part of the landscaping plan and boundary treatment under Consented Application 2025/3748/P. The proposed masonry boundary is an over-worked dominant feature, larger in scale than similar boundary schemes in the neighbourhood. It is also contrary to the neighbourhood's and Camden's intention to optimise green landscaping and limit or reduce Carbon-generating works and installations. HCAAC principally objects to removal of hedges and all green features where they can be reasonably retained or new work of that kind promoted.</i> <u>Officer's response:</u> • The proposed front boundary treatment has been amended in response to concerns raised by Officers. • The existing hedge would be replaced with a new hedge on completion of the front boundary structures. • Design and heritage impacts are assessed in section 3 of this report. • Trees and landscaping impacts are assessed in section 4 of this report.			
Redington Frognal Neighbourhood Forum (RFNF)	An objection on behalf of the Redington Frognal Neighbourhood Forum was received on 17/05/2026, which can be summarised as follows: <i>The proposal would introduce substantial metal railings, electrically operated gates, brick piers and formalised boundary infrastructure to the frontage of an important Grade II listed Quennell house within the Redington Frognal Conservation Area. The proposal is contrary to the original architectural and landscape philosophy of C.H.B. Quennell, harmful to the verdant garden suburb character of the conservation area and inconsistent with Policies SD 1, SD 2, SD 4, SD 5, SD 6, BGI 1 and BGI 2 of the Redington Frognal Neighbourhood Plan.</i> <u>Officer's response:</u> • The proposed front boundary treatment has been amended, in particular the gate piers reduced in height and intermediate piers			

	removed, in response to concerns raised by Officers. • The existing hedge would be replaced with a new hedge on completion of the front boundary structures. • Design and heritage impacts are assessed in section 3 of this report. • Trees and landscaping impacts are assessed in section 4 of this report.
Redington / Frogna CAAC	No response received

Site Description

The application site at 14 Templewood Avenue is listed as Grade II on the National Heritage List for England (No. 1378974) and is located in the Redington/Frognaal Conservation Area. The red brick detached house was constructed c. 1910-11 to designs by CHB Quennell and W. Hart in a symmetrical Neo-Classical style. The house is constructed in a red/orange brick and the principal street-facing elevation features a central front entrance portico, flush-framed multi-paned sash windows, and tiled hipped roofs with dormers and tall brick slab chimney stacks. The subject property has group value as one of a number of buildings designed by Quennell and Hart located in the immediate Conservation Area context..

The application site is also located within the Redington and Frognaal Neighbourhood Plan Area. The Hampstead Conservation Area and Hampstead Neighbourhood Plan Area border the site to the north east and south east.

The front boundary of the site has two existing vehicle entrances with concrete forecourt parking. The existing front boundary treatment comprises a mature hedge. The site was also originally bounded with a low timber post and chain fence, but this is no-longer fully intact and in-situ – and what survives is substantially obscured by the hedging.

Relevant History

2025/3748/P - Details pursuant to condition 5 (Landscaping) of planning permission 2024/2954/P dated 20/03/2025 (for: Variation of conditions 1 (approved plans), 4 (joinery) and 5 (landscaping) of planning permission 2013/6912/P (as later amended by non-material amendment 2024/1436/P granted 15/05/2024) for; 'Excavation works to provide single basement floor level, side and rear extensions at ground floor level, extension and alterations to coach house and other external alterations, reinstatement/ repair of boundary treatments, removal of car port and erection of cycle store, associated landscaping, and conversion from six self-contained flats to a dwelling house (Class C3)', namely to; erect a link to connect the coach house to the main house, modify the internal layout, remove approved front lightwell, make changes to fenestration, retain existing dormer window and balcony to side elevation, and lower the lower ground floor level. **Granted 6/11/2025**

2025/2509/L – Demolition and replacement of the existing side (north east) and rear (east) boundary walls. **Granted 2/10/2025**

2023/0844/PRE – Amendment to planning permission 2013/6912/P and an associated listed building consent. The proposed amendment seeks to create a swimming pool within the previously consented basement level garden room. Full planning permission and listed building consent for the installation of gates and associated piers to the existing vehicular access points as well as the installation of a new pedestrian access, at the front boundary. **Pre-application advice issued 29/03/2023**

Relevant policies

National Planning Policy Framework (2024)

Draft National Planning Policy Framework (2025)

The London Plan (2021)

Draft London Plan (2026)

Camden Local Plan (2017)

- A1 Managing the impact of development
- D1 Design
- D2 Heritage

- T3 Transport infrastructure

Redington Frogna! Neighbourhood Plan (2021)

- SD 2 Redington Frogna! Conservation Area
- SD 4 Sustainable development and Redington Frogna! character
- SD 5 Dwellings: Extensions and garden development
- BGI 2 Tree planting and preservation

Camden Planning Guidance:

- Amenity (2021)
- Design (2021)
- Transport (2021)

Redington/Frogna! Conservation Area Appraisal and Management Strategy (2022)

Draft Camden Local Plan

The Proposed Submission Draft Camden Local Plan was submitted to the Secretary of State for Housing, Communities and Local Government on the 3 October 2025 for independent examination, in accordance with Regulation 22 of the Town and Country Planning (Local Planning) (England) Regulations 2012 (as amended). The examination of the draft Local Plan is currently ongoing and hearings were held from 19 May 2026 to 11 June 2026.

Previously, the Council published the draft new Camden Local Plan for consultation in January 2024 and published an updated Proposed Submission Draft Camden Local Plan for consultation from 1 May to 27 June 2025.

The Proposed Submission Draft Camden Local Plan (DCLP) is a significant material consideration in the determination of planning applications but has limited weight at this stage. The weight that can be given to an emerging plan increases as it progresses towards adoption. In line with paragraph 49 of the National Planning Policy Framework (NPPF), the degree of weight to be given is a matter for the decision-maker, having regard to the stage of preparation, the extent of unresolved objections, and the consistency of the draft policies with the NPPF.

Assessment

1. The proposal

- 1.1 The proposal is to erect new gates, railings and brick piers to the site's front boundary. Railings would sit on a brick upstand. The gates include two vehicle entry gates at the existing vehicle crossovers, as well as a centrally located pedestrian gate. The proposed front pedestrian gate utilises the existing pedestrian gate in the rear garden, and relocates this to the front boundary.
- 1.2 Additionally, the proposal involves the installation of a new timber bin store in the front yard at the site's south-western corner, set behind a new wooden gate which also fronts to Templewood Avenue and matches the adjacent bin store at 12 Templewood Avenue.
- 1.3 The existing hedge is to be removed and a replacement Yew hedge planted on completion of the works.

Revisions:

- 1.4 The following revisions have been made to the proposals:
 - The main gate brick piers have been reduced in height from approximately 2.23m to 2m, and the intermediate brick piers are removed from the proposals and replaced with slimmer metal standards. The base plinth of the wall has been reduced to a single vertical brick upstand only.

2. Assessment

2.1. The principal considerations material to the determination of this application are as follows:

- Design and heritage
- Trees and landscaping
- Amenity
- Transport
- Biodiversity

3. Design and heritage

3.1. Local Plan Policies D1 (Design) and D2 (Heritage) are aimed at achieving the highest standard of design in all developments. Policy D1 requires development to be of the highest architectural and urban design quality, which improves the function, appearance and character of the area; and Policy D2 states that the Council will preserve, and where appropriate, enhance Camden's rich and diverse heritage assets and their settings, including locally listed buildings. The effect of a proposal on the significance of a non-designated heritage asset will be weighed against the public benefits of the proposal, balancing the scale of any harm or loss and the significance of the heritage asset. In addition, Policy SD 2 Redington Frogna Conservation Area of the Redington Frogna Neighbourhood Plan, requires new developments to preserve or enhance the green garden suburb character of the Conservation Area, by maintaining gaps between buildings, and including trees, hedges, and maintaining an open garden suburb character created by well-vegetated front, side and rear gardens.

3.2. The CPG Home Improvements places onus on occupiers/owners to repair existing boundary walls, fences and railings before considering replacement. The Council expect dimensions, materials, proportions and detailing to respect and be subordinate to host buildings and impacts on trees must be considered. The existing timber posts are of poor quality and are not considered to be capable of being preserved because of their decaying state.

3.3. The special interest of the building is derived from its design and grand proportions as a detached Edwardian residence, along with all surviving planform and detailing internally - which due to the losses to date, the remaining intact features have further enhanced significance as the last surviving examples. It has group value with other Quennell dwellings in the local area. The existing boundary treatment is not mentioned within the listing description; however, the verdant garden setting with mature hedge boundary is considered to contribute to the character and appearance of the Redington Frogna Conservation Area and the setting of the listed building.

3.4. The Redington/Frogna Conservation Area Appraisal (RFCAA) specifically notes that:

The removal of hedging and its replacement with metal gates or railings creates hard urban frontages, causing considerable harm to the verdant character of the area.

3.5. Notwithstanding the guidance in the RFCAA, the immediate street frontages on this northern section of Templewood Avenue, have almost exclusively been replaced with boundary treatments consisting of railings and gates, often with low brick walls and brick piers.

3.6. Removal of the existing hedge is required to install the new railings, gates and piers which will pose harm to the verdant garden setting of the listed building and the character and appearance of the Redington/Frogna Conservation Area. However, a replacement hedge would be implemented on the completion of works, therefore the adverse impact from the removal of the hedge would be in the short-medium term, and be mitigated as the replacement hedge grows and matures over time (3-7 years). Conditions 6 and 7 secures details, implementation and retention of the proposed hedge.

3.7. Given the immediate streetscape context of gates and railings at neighbouring properties on Templewood Avenue, the principle of establishing metal gates and railings at the site's front boundary, , would not introduce a new alien feature that would intrinsically cause harm to the

significance of the conservation area. It is important however that the detailed design of any new boundary treatment, that includes the incorporation of railings and gates, is sympathetically designed to not present as overly defensive or dominant to the streetscape, and ensure a verdant character is maintained. The design has been specifically detailed to match the original surviving Quinell pedestrian gate on site. The detailed design of the gates and railings will be confirmed by Condition 3.

- 3.8. The proposed front boundary treatment has also been amended so that the height of the brick piers do not exceed 2m, intermediate brick piers have been removed, and the plinth base reduced to be retained as a single vertical brick band. These revisions have minimised the solidity of the structure so that it is less prominent in the streetscape and setting. The bricks used for the gate piers will be matched to the host building and coach house, maintaining consistency in the material treatment on the site. The proposed hedge, once established and matured, will also soften the appearance of the railings and maintain the verdant character of the area.
- 3.9. The proposed return brick wall, including the timber pedestrian door, forms a short section between the front boundary and the coach house, it would be stepped below the height of the front boundary brick piers and sit below the height of the coach house doors. As such, this section of wall and pedestrian gate, would be subservient to and not obscure views of the coach house from Templewood Avenue. The setting and significance of the coach house would be maintained.
- 3.10. The proposed bin store would be screened from view from Templewood Avenue by the proposed timber gate which forms part of the front boundary treatment. The timber gate is a lightweight structure, sitting below the adjoining brick piers, and would be positioned discreetly at the southern end of the boundary treatment. The timber gates would contrast appropriately with the adjacent metal and be a minor element of the street frontage. The length and positioning of the timber gate would also complement the adjacent timber gates on the front boundary of no. 12. As such, the proposed bin store and timber gates would not cause harm to the conservation area or block views of the listed building.
- 3.11. Overall, while the metal railings and gates are still not strictly in line with the guidance of the Redington and Frognal conservation area appraisal, given the immediate context is not intact with other tall railings and gates set in brick, the proposals will not pose substantive harm to the setting of the conservation area. The design of the new vehicle gates will be matched to the original Quinell designed pedestrian gate, and the brick piers will match the listed host building and coach house – maintaining architectural consistency across the site. The open railings and lowered height, will ensure opening views of the building and the setting and group relationship is retained.
- 3.12. The council has had special regard to the desirability of preserving the character and appearance of the Area, and the listed building, its setting, and its special interest.

4. Trees and landscaping

- 4.1. Policies A3 and D1 advise that the Council will seek to protect gardens and resist the loss of trees and vegetation of significant amenity, historic, cultural or ecological value. Policy SD 2 (Redington Frognal Conservation Area) of the Redington Frognal Neighbourhood Plan, requires new developments to preserve or enhance the green garden suburb character of the Conservation Area, by maintaining gaps between buildings, and including trees, hedges, and maintaining an open garden suburb character created by well-vegetated front, side and rear gardens.
- 4.2. Construction of the proposed front boundary treatment and bin store may impact on the root zone of an adjacent tree in the front yard of no. 12. Council's Tree Officer has advised the impact of the scheme on this tree will be of an acceptable level provided appropriate tree protection measures are secured. The applicant has agreed to a condition of consent that prior to the commencement of any works on site, details demonstrating how trees to be retained shall be protected during construction work to be submitted to and approved by Council. The condition would stipulate all trees on the site, or parts of trees growing from adjoining sites, unless shown on the permitted

drawings as being removed, shall be retained and protected from damage in accordance with the approved protection details.

4.3. A condition is recommended to secure full details of replacement landscaping, which will include a new hedge, to mitigate loss of the existing established hedge.

4.4. In light of the above, the proposed scheme is considered to have an acceptable impact on the biodiversity of the site and landscaped character of the wider area.

5. Amenity

5.1. Policy A1 seeks to protect the quality of life of occupiers and neighbours by only granting permission for development that would not harm the amenity of residents. This includes factors such as privacy, outlook, implications to natural light, artificial light spill, as well as impacts caused from the construction phase of development.

5.2. Given the nature and scale of the works, the proposal would not cause any adverse impacts on the amenity of adjoining residential occupiers in terms of loss of light, outlook or privacy.

5.3. Construction impacts would be temporary in nature and limited given the nature and scale of the works, the site can be easily accessed during the construction phase without adversely impacting access to other adjacent properties.

5.4. Overall, the proposal would result in acceptable amenity effects.

6. Transport

6.1. Policy T3 seeks to protect existing and proposed transport infrastructure, particularly routes and facilities for walking, cycling and public transport, from removal or severance. The application is supported by a Transport Note by Canparo Associates that concludes the minimum 25m visibility can be achieved in both directions based on the speed limit of Templewood Avenue (20mph). Furthermore, a swept path analysis was undertaken which demonstrates that cars can access and egress both access points safely.

6.2. Council's Transport officer has raised no objections to the proposals. As such, the proposals would maintain the safety and efficiency of the transport network.

7. Biodiversity Net Gain

7.1. Biodiversity Net Gain (BNG) requirements came into effect for small sites on 02 April 2024, however, there are statutory exemptions and transitional arrangements which mean that the biodiversity gain condition does not always apply. Based on the information provided, this proposal will not require the approval of a Biodiversity Gain Plan before development is begun because it is a Householder application.

8. Conclusion

8.1. Overall, the proposed front boundary treatment and other ancillary works in the front yard, would maintain the character and appearance of the conservation area, the setting and significance of the listed building, and the verdant setting of the front yard and its contribution to the streetscape character of this part of Templewood Avenue.

8.2. The proposed development is in general accordance with policies A1, A3, D1 and D2 of the London Borough of Camden Local Plan 2017 and policies SD 2, SD4, SD5 and BGI 2 of the Redington Frognal Neighbourhood Plan 2021. The proposed development also accords with the London Plan 2021 and the National Planning Policy Framework 2024.

9. Recommendation

9.1. Grant conditional Planning Permission and Listed Building Consent.

The decision to refer an application to Planning Committee lies with the Director of Regeneration and Planning. Following the Members Briefing panel on Monday 3rd August 2026, nominated members will advise whether they consider this application should be reported to the Planning Committee. For further information, please go to www.camden.gov.uk and search for 'Members Briefing'.

Application ref: 2026/1735/P
Contact: Brendan Versluys
Tel: 020 7974 1196
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Date: 24 July 2026

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Michael Burroughs Associates
93 Hampton Road
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TW12 1JQ

DRAFT

Dear Sir/Madam

DECISION

Town and Country Planning Act 1990 (as amended)

Householder Application Granted

Address:
14 Templewood Avenue
London
NW3 7XA

Proposal:
Erection of new boundary treatment to site frontage and return wall to the coach house; erection of new bin store to front yard.

DECISION

Drawing Nos: Plans: 615; 616; 617; 620, rev A; 621, rev A; 622; 623; 624

Supporting information: Cover letter prepared by Michael Burroughs Associates, 28/04/2026, ref. E5716; Design and Access Statement prepared by Wolff Architects, 13/04/2026, ref. 2320; Heritage Impact Assessment prepared by Levrant, April 2026; Transport Note prepared by Caneparo Associates, 8/04/2026, ref. N01-JT-Transport Note D1 (260408); Arboricultural Impact Assessment prepared by Tim Moya Associates, 5/05/2026, ref. 240742-TMA-XX-RP-AP-2703-P00;

The Council has considered your application and decided to grant permission subject to the following condition(s):

Condition(s) and Reason(s):

- 1 The development hereby permitted must be begun not later than the end of three years from the date of this permission.

Reason: In order to comply with the provisions of Section 91 of the Town and Country Planning Act 1990 (as amended).

- 2 The development hereby permitted shall be carried out in accordance with the following approved plans 615; 616; 617; 620, rev A; 621, rev A; 622; 623; 624

Reason: For the avoidance of doubt and in the interest of proper planning.

- 3 Before the relevant part of the work is begun, detailed drawings, or samples of materials as appropriate, in respect of the following, shall be submitted to and approved in writing by the local planning authority:

a) Details including sections at 1:10 of all new gates and railings;

c) Manufacturer's specification details of all facing materials (to be submitted to the Local Planning Authority) and samples of those materials (to be provided on site).

The relevant part of the works shall be carried out in accordance with the details thus approved and all approved samples shall be retained on site during the course of the works.

Reason: To safeguard the appearance of the premises and the character of the immediate area in accordance with the requirements of policy D1 and D2 of the London Borough of Camden Local Plan 2017, and policies SD2, SD4 and SD5 of the Redington Froggnal Neighbourhood Plan 2021.

- 4 Prior to the commencement of any works on site, details demonstrating how trees to be retained shall be protected during construction work shall be submitted to and approved by the local planning authority in writing. Such details shall follow guidelines and standards set out in BS5837:2012 "Trees in Relation to Construction". All trees on the site, or parts of trees growing from adjoining sites, unless shown on the permitted drawings as being removed, shall be retained and protected from damage in accordance with the approved protection details.

Reason: To ensure that the development will not have an adverse effect on existing trees and in order to maintain the character and amenity of the area in accordance with the requirements of policies A2 and A3 of the London Borough of Camden Local Plan 2017, and policy BGI 2 of the Redington Froggnal Neighbourhood Plan 2021.

- 5 Prior to commencement of any works on site, details of the design of building foundations and the layout, with dimensions and levels, of service trenches and other excavations on site in so far as these items may affect trees on or adjoining the site, shall be submitted to and approved in writing by the local planning authority. The relevant part of the works shall not be carried out otherwise than in accordance with the details thus approved.

Reason: To ensure that the development will not have an adverse effect on existing trees and in order to maintain the character and amenities of the area in accordance with the requirements of policies A2 and A3 of the London Borough of Camden Local Plan 2017, and policy BGI 2 of the Redington Frogna! Neighbourhood Plan 2021.

- 6 No development shall take place until full details of hard and soft landscaping, which includes a replacement hedge to the frontage, and means of enclosure of all un-built, open areas have been submitted to and approved by the local planning authority in writing. [Such details shall include details of any proposed earthworks including grading, mounding and other changes in ground levels.] The relevant part of the works shall not be carried out otherwise than in accordance with the details thus approved.

Reason: To ensure that the development achieves a high quality of landscaping which contributes to the visual amenity and character of the area in accordance with the requirements of policies A2, A3, D1 and D2 of the London Borough of Camden Local Plan 2017, and policies SD2, SD4, SD5, and BGI 2 of the Redington Frogna! Neighbourhood Plan 2021.

- 7 All hard and soft landscaping works shall be carried out in accordance with the approved landscape details by not later than the end of the planting season following completion of the development or any phase of the development, whichever is the sooner. Any trees or areas of planting (including trees existing at the outset of the development other than those indicated to be removed) which, within a period of 5 years from the completion of the development, die, are removed or become seriously damaged or diseased, shall be replaced as soon as is reasonably possible and, in any case, by not later than the end of the following planting season, with others of similar size and species, unless the local planning authority gives written consent to any variation.

Reason: To ensure that the landscaping is carried out within a reasonable period and to maintain a high quality of visual amenity in the scheme in accordance with the requirements of policies A2, A3, D1 and D2 of the London Borough of Camden Local Plan 2017, and policies SD2, SD4, SD5, and BGI 2 of the Redington Frogna! Neighbourhood Plan 2021.

Informative(s):

- 1 Your proposals may be subject to control under the Building Regulations and/or the London Buildings Acts that cover aspects including (but not limited to) fire and emergency escape, access and facilities for people with disabilities and sound insulation between dwellings. You are advised to consult the Council's Building Control Service, Building.Control@camden.gov.uk (tel: 020-7974 4444).
- 2 Biodiversity Net Gain (BNG) Informative (1/3):
The effect of paragraph 13 of Schedule 7A to the Town and Country Planning Act 1990 ("1990 Act") is that planning permission granted in England is subject to the condition ("the biodiversity gain condition") that development may not begin unless:

- (a) a Biodiversity Gain Plan has been submitted to the planning authority, and
- (b) the planning authority has approved the plan.

The local planning authority (LPA) that would approve any Biodiversity Gain Plan (BGP) (if required) is London Borough of Camden.

There are statutory exemptions and transitional arrangements which mean that the biodiversity gain condition does not always apply. These are summarised below, but you should check the legislation yourself and ensure you meet the statutory requirements.

Based on the information provided, this will not require the approval of a BGP before development is begun because it is a Householder Application.

3 Biodiversity Net Gain (BNG) Informative (2/3):

+ Summary of transitional arrangements and exemptions for biodiversity gain condition

The following are provided for information and may not apply to this permission:

1. The planning application was made before 12 February 2024.
2. The planning permission is retrospective.
3. The planning permission was granted under section 73 of the Town and Country Planning Act 1990 and the original (parent) planning permission was made or granted before 12 February 2024.
4. The permission is exempt because of one or more of the reasons below:
 - It is not "major development" and the application was made or granted before 2 April 2024, or planning permission is granted under section 73 and the original (parent) permission was made or granted before 2 April 2024.
 - It is below the de minimis threshold (because it does not impact an onsite priority habitat AND impacts less than 25 square metres of onsite habitat with biodiversity value greater than zero and less than 5 metres in length of onsite linear habitat).
 - The application is a Householder Application.
 - It is for development of a "Biodiversity Gain Site".
 - It is Self and Custom Build Development (for no more than 9 dwellings on a site no larger than 0.5 hectares and consists exclusively of dwellings which are Self-Build or Custom Housebuilding).
 - It forms part of, or is ancillary to, the high-speed railway transport network (High Speed 2).

4 Biodiversity Net Gain (BNG) Informative (3/3):

+ Irreplaceable habitat:

If the onsite habitat includes Irreplaceable Habitat (within the meaning of the Biodiversity Gain Requirements (Irreplaceable Habitat) Regulations 2024) there are additional requirements. In addition to information about minimising adverse impacts on the habitat, the BGP must include information on compensation for any impact on the biodiversity of the irreplaceable habitat. The LPA can only approve a BGP if satisfied that the impact on the irreplaceable habitat is minimised and appropriate arrangements have been made for compensating for any impact which do not include the use of biodiversity credits.

+ The effect of section 73(2D) of the Town & Country Planning Act 1990

If planning permission is granted under section 73, and a BGP was approved in relation to the previous planning permission ("the earlier BGP"), the earlier BGP may be regarded as approved for the purpose of discharging the biodiversity gain condition on this permission. It will be regarded as approved if the conditions attached (and so the permission granted) do not affect both the post-development value of the onsite habitat and any arrangements made to compensate irreplaceable habitat as specified in the earlier BGP.

+ Phased development

In the case of phased development, the BGP will be required to be submitted to and approved by the LPA before development can begin (the overall plan), and before each phase of development can begin (phase plans). The modifications in respect of the biodiversity gain condition in phased development are set out in Part 2 of the Biodiversity Gain (Town and Country Planning) (Modifications and Amendments) (England) Regulations 2024.

- 5 This approval does not authorise the use of the public highway. Any requirement to use the public highway, such as for hoardings, temporary road closures and suspension of parking bays, will be subject to approval of relevant licence from the Council's Streetworks Authorisations & Compliance Team, 5 Pancras Square c/o Town Hall, Judd Street London WC1H 9JE (Tel. No 020 7974 4444). Licences and authorisations need to be sought in advance of proposed works. Where development is subject to a Construction Management Plan (through a requirement in a S106 agreement), no licence or authorisation will be granted until the Construction Management Plan is approved by the Council.

- 6 All works should be conducted in accordance with the Camden Minimum Requirements - a copy is available on the Council's website (search for 'Camden Minimum Requirements' at www.camden.gov.uk) or contact the Council's Noise and Licensing Enforcement Team, 5 Pancras Square c/o Town Hall, Judd Street London WC1H 9JE (Tel. No. 020 7974 4444)

Noise from demolition and construction works is subject to control under the Control of Pollution Act 1974. You must carry out any building works that can be heard at the boundary of the site only between 08.00 and 18.00 hours Monday to Friday and 08.00 to 13.00 on Saturday and not at all on Sundays and Public Holidays. You must secure the approval of the Council's Noise and Licensing Enforcement Team prior to undertaking such activities outside these hours.

In dealing with the application, the Council has sought to work with the applicant in a positive and proactive way in accordance with the National Planning Policy Framework. The council publishes its adopted policies online, along with detailed Camden Planning Guidance. It also provides advice on the website for submitting applications and offers a pre-application advice service.

You can find advice about your rights of appeal at:

<https://www.gov.uk/appeal-householder-planning-decision>.

If you submit an appeal against this decision you are now eligible to use the new [submission form](#) (Before you start - Appeal a planning decision - GOV.UK).

Yours faithfully

Chief Planning Officer

DRAFT

DECISION

Application ref: 2026/2479/L
Contact: Brendan Versluys
Tel: 020 7974 1196
Email: Brendan.Versluys@camden.gov.uk
Date: 24 July 2026

Development Management
Regeneration and Planning
London Borough of Camden
Town Hall
Judd Street
London
WC1H 9JE

Phone: 020 7974 4444

planning@camden.gov.uk
www.camden.gov.uk

Michael Burroughs Associates
93 Hampton Road
Hampton Hill
Hampton
London
TW12 1JQ

DRAFT

Dear Sir/Madam

DECISION

Planning (Listed Building and Conservation Areas) Act 1990

Listed Building Consent Granted

Address:
14 Templewood Avenue
London
NW3 7XA

DECISION

Proposal:

Erection of new boundary treatment to site frontage and return wall to the coach house; erection of new bin store to front yard.

Drawing Nos: Plans: 615; 616; 617; 620, rev A; 621, rev A; 622; 623; 624

Supporting information: Cover letter prepared by Michael Burroughs Associates, 28/04/2026, ref. E5716; Design and Access Statement prepared by Wolff Architects, 13/04/2026, ref. 2320; Heritage Impact Assessment prepared by Levrant, April 2026; Transport Note prepared by Caneparo Associates, 8/04/2026, ref. N01-JT-Transport Note D1 (260408); Arboricultural Impact Assessment prepared by Tim Moya Associates, 5/05/2026, ref. 240742-TMA-XX-RP-AP-2703-P00;

The Council has considered your application and decided to grant subject to the following condition(s):

Conditions And Reasons:

- 1 The development hereby permitted must be begun not later than the end of three years from the date of this permission.

Reason: In order to comply with the provisions of Section 91 of the Town and Country Planning Act 1990 (as amended).

- 2 The development hereby permitted shall be carried out in accordance with the following approved plans 615; 616; 617; 620, rev A; 621, rev A; 622; 623; 624

Reason: For the avoidance of doubt and in the interest of proper planning.

- 3 All new work and work of making good shall be carried out to match the existing adjacent work as closely as possible in materials and detailed execution.

Reason: In order to safeguard the special architectural and historic interest of the building in accordance with the requirements of policy D2 of the Camden Local Plan 2017.

DRAFT

Informative(s):

- 1 You are advised that any works of alterations or upgrading not included on the approved drawings which are required to satisfy the Building Safety Act 2022, the Building (Higher-Risk Buildings Procedures) (England) Regulations 2023 and any other applicable Building Regulation requirements may require a further application for listed building consent. It is your responsibility to ensure that all statutory requirements are met before construction begins.

DECISION

In dealing with the application, the Council has sought to work with the applicant in a positive and proactive way in accordance with the National Planning Policy Framework. The council publishes its adopted policies online, along with detailed Camden Planning Guidance. It also provides advice on the website for submitting applications and offers a pre-application advice service.

You can find advice about your rights of appeal at:

<http://www.planningportal.gov.uk/planning/appeals/guidance/guidancecontent>

Yours faithfully

Chief Planning Officer